

**Owner's Acknowledgment**

I hereby certify as the owner of the land shown on this plat and whose name is subscribed hereto, that the plat and the map made hereon are true and correct surveys of the land shown hereon and that I have read the same and know the contents thereof. I hereby acknowledge, do hereby convey, sell and grant unto the City of Atlanta, Georgia, all rights-of-way, water mains and sewer lines shown hereon in fee simple to Paulding County and further dedicate to the use of the public forever all alleys, parks, water courses, drains, easements and public places hereon shown for the purposes and considerations herein expressed. In consideration of the approval of development plan and other valuable information and other further releases and holds harmless Paulding County, Georgia, from all damages or demands arising on account of the design, construction and maintenance of the property shown hereon; on account of the roads, fills, embankments, ditches, cross drains, culverts, water mains, sewer lines, and bridges within the proposed rights-of-way and easements shown; and on account of backwater, the collection and discharge of surface water, or the changing of courses of streams. And further, the property hereon shown, together with Paulding County shall not be liable to him, his heirs, successors or assigns for any claims or damages resulting from the construction or maintenance of cross drain extensions, drives, structures, street, culverts, curbs of sidewalks, the changing of courses of streams and rivers, flooding from natural creeks and rivers, surface waters and any other matter whatsoever. I further warrant that I have the right to sell and convey the land according to this plat and hereby bind myself and owners subsequent in title to defend by virtue of these provisions.

**Surveyors Acknowledgment**

I hereby certify that the plan shown and described hereon is a true correct survey made on the ground and that the same has been placed as shown hereon, and is to the accuracy and specifications required by the Paulding County Development Standards.

*Todd Ellis*  
 Signature  
 Date 2-15-07

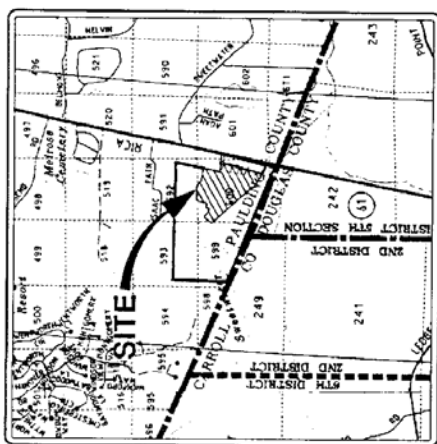
*Todd Ellis*  
 Signature  
 Date 2-15-07

**Paulding County Development Certification**

This plat, having been submitted to Paulding County and having been found to comply with the Paulding County Development Regulations and the Paulding County Zoning Ordinance, is approved subject to the installation and improvements in all streets, alleys, easements and other improvements in accordance with the Standards Details and the posting of an 18-month maintenance bond.

Date 3-5-07  
 Department Community Development  
 Muelo Cuts  
 Water, Sewer & Environmental Services  
 Date 2-21-07  
 Department of Transportation  
 Seth K. G.  
 Paulding County Board of Commissioners  
 Date 3-5-07

POST OFFICE:  
 VILLA RICA, GA 30180



LOCATION MAP --- 1" = 2000'

**GENERAL NOTES:**

ALL PROPOSED 32 CLASS STREETS ARE TO CONSIST OF 1" TYPE F ASPHALTIC TOPPING, 2" BINDER AND 4" COMPACTED GRADED AGGREGATE BASE (GAB). ALL 53 CLASS STREETS ARE TO CONSIST OF 1 1/2" TYPE E ASPHALTIC TOPPING, 2" TYPE B BINDER AND 8" GRADED AGGREGATE BASE (GAB).

MINIMUM F.F. ELEVATIONS SHALL BE NO LESS THAN 4 FEET ABOVE THE 100 YEAR HEADWATER FOR 100 OR 100 YEAR FLOOD ELEVATIONS FOR LOTS UPSTREAM OF STORM DRAIN CROSSINGS. FOR THE TOP OF CURB AT THE LOW POINT.

A 20 FOOT DRAINAGE EASEMENT (10 FEET EACH SIDE OF CENTERLINE) IS RESERVED ALONG ALL CREEKS AND NATURAL DITCHES.

A 10 FOOT DRAINAGE/UTILITY EASEMENT (5 FEET EACH SIDE OF PROPERTY LINE) IS RESERVED ALONG FRONT, SIDE AND REAR PROPERTY LINES.

SUBJECT PROPERTY LIES WITHIN AN AREA DESIGNATED AS ZONE "AE" ON COMMUNITY PANEL 1322302020 C OF THE FLOOD INSURANCE RATE MAPS FOR PAULDING COUNTY PREPARED BY F.E.M.A. DATED SEPTEMBER 29, 2006.

NOTE: THE DIMENSIONS, BEARINGS, DISTANCES, AND AREA CALCULATIONS OF THE RESIDENTIAL SUBDIVISION SHOWN HEREON WERE PREPARED BY AND ARE THE RESPONSIBILITY OF CARLTON RAKESTRAW & ASSOCIATES.

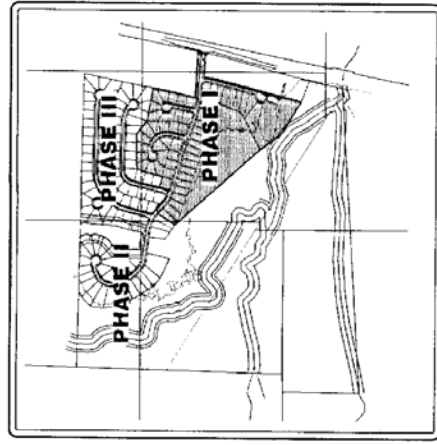
THE CIVIL ENGINEERING DESIGN OF THIS DEVELOPMENT, WHICH INCLUDES BUT IS NOT LIMITED TO: CURB, SIDEWALKS, STREETS, SIGHT TRIANGLE, POTABLE WATER PRESSURE, SANITARY SEWER AND SEPTIC SYSTEMS, MINIMUM FLOOR ELEVATIONS, ETC. WAS PREPARED BY CARLTON RAKESTRAW & ASSOCIATES. MINIMUM FLOOR ELEVATIONS SHALL BE AS SHOWN ON CONSTRUCTION PLANS FOR CAMDEN LAKE SUBDIVISION AND DATED MARCH 30, 2005.

BOUNDARY INFORMATION SHOWN HEREON IS BASED ON THE SURVEY PREPARED BY ARCADIS FOR STEPHEN L., STEVEN F., PATRICIA M. & MARGAN M. MCNEEL PROPERTY DATED 12/23/03.

THIS PLAT IS SUBJECT TO THE COVENANTS SET FORTH IN THE SEPARATE DOCUMENT(S) DATED 12/23/03.

WHICH HEREBY BECOMES A PART OF THIS PLAT, RECORDED IN DEED BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ PAULDING COUNTY DEED RECORDS AND SIGNED BY THE OWNER.

- STREET LIGHT REQUIREMENTS:**
- IN ACCORDANCE WITH THE PAULDING COUNTY STREET LIGHT DISTRICT ORDINANCE (AMENDMENT 8/26/97), THE DEVELOPER OF THIS SUBDIVISION MUST PROVIDE STREET LIGHTS.
  - THE DEVELOPER SHALL SUBMIT TO THE PLANNING & ZONING DIVISION THE STREET LIGHT LAYOUT PREPARED BY THE UTILITY COMPANY THAT WILL PROVIDE THE LIGHTING SERVICE SHOWING EXACT LOCATION OF STREET LIGHTS WITHIN THIS SUBDIVISION.
  - THE DEVELOPER SHALL SUBMIT TO THE PLANNING & ZONING DIVISION PROOF OF INSTALLATION OF STREET LIGHTS, INCLUDING POLES, WIRING AND ANY OTHER RELATED ITEMS OR MATERIALS NECESSARY FOR INSTALLATION.
  - THE FINAL PLAN SHALL ANNOTATE THAT STREET LIGHTS SHALL BE INSTALLED IN ACCORDANCE WITH PROVISIONS OF THE STREET LIGHT ORDINANCE.
  - THE STREET LIGHT REQUIREMENTS MUST BE MET PRIOR TO OBTAINING ANY BUILDING PERMITS OR WATER METERS FOR THIS SUBDIVISION.



SITE MAP - NTS

**LEGEND**

PF	IRON PIN FOUND
IF	IRON PIN SET
OT	OPEN TOP PIPE
CTP	CRAMP TOP PIPE
UL	LAND LOT LINE
UL	LAND LOT LINE
2"/POL-	POWER POLE
5"/POL-	5" FIRE WASTEWATER SERVICE POLE
6"/POL-	6" WATER MAIN
6"	CENTERLINE
6"	EDGE OF PAVEMENT
6"	GATE WALKER
6"	CORRUGATED METAL PIPE
6"	MANHOLE CONCRETE PIPE
6"	SINGLE WING CATCH BASIN
6"	DOUBLE WING CATCH BASIN
6"	HEADWALL BOX
6"	DROP INLET
6"	PROPERTY LINE
6"	CROSSROAD
6"	EL ELEVATION MARK
6"	BUILDING LINE
6"	PROPERTY LINE
6"	CONCRETE MONUMENT FOUND
6"	DRAINAGE EASEMENT
6"	SANITARY SEWER EASEMENT
6"	PAINT OF RESURFACING

**GENERAL INFORMATION**

ENGINEER:	ARCADIS
ENGINEER ADDRESS:	2849 PACES FERRY ROAD SUITE 400, ATLANTA, GA 30339
CURRENTLY ZONED:	RHD
TOTAL AREA OF DEVELOPMENT:	97,319 ACRES
TOTAL OPEN SPACE REQUIRED:	0.110 ACRES
OPEN SPACE PROVIDED THIS PHASE:	7,832 ACRES
TOTAL OF LOTS DEVELOPED:	54
LENGTH OF NEW STREETS:	2064 FEET
MINIMUM LOT SIZE:	9,000 S.F.
MINIMUM FRONT YARD SETBACK:	15 FEET
MINIMUM REAR SETBACK:	20 FEET
MINIMUM HOUSE SIZE:	1,600 S.F.
FIELD TRAVERSE PRECISION:	1:59,423
ANGLE ADJUSTMENT:	0" PER ANGLE
INVERSE ADJUSTMENT:	COMPASS
INSTRUMENT:	UT1000300
EQUIPMENT:	SOPHA SET 2-100
STREET RIGHT-OF-WAYS:	50 FEET
C/A-W-SAC RADUS:	55 FEET
CENTERLINE OF STREET:	25 FEET FROM R/W
STREET WIDTH (BOSZ/BOO):	25 FEET (UNLESS NOTED)
PAVEMENT WIDTH:	22 FEET (UNLESS NOTED)
PAVEMENT TYPE:	ASPHALT

**CAMDEN LAKE FINAL PLAT FOR PHASE I**

LOCATED IN LAND LOT(S) - 592, 599, 600 & 601 1ST DISTRICT, 3RD SECTION PAULDING COUNTY, GEORGIA

PROJECT NO. 08-005  
 DRAWN BY: S.M.B.  
 CHECKED BY: W.C.R.  
 DATE: 02-15-07  
 PLAT FILE # 08-005-F-1

REGISTERED LAND SURVEYOR CARLTON RAKESTRAW & ASSOCIATES  
 PHONE: 770-443-2200 FAX: 770-443-2300  
 2203 AMHERST HWY. DALLAS, GEORGIA 30157

OWNERS/DEVELOPER  
 RESIDENTIAL LAND DEVELOPERS, INC.  
 P.O. BOX 508  
 WINSTON, GA 30187  
 TODD ELLIS  
 PHONE: 404-378-1267

SEE ZONING STIPULATIONS ON SHEET 3

RECORDED 03/05/2007 01:48PM  
 FROM THE GEORGIA COUNTY PAULDING COUNTY, GA  
 TO 00051  
 0183

1/5 SHEET

**NOTE:**  
 THE M.F.E. FOR LOTS 1-9 SHALL BE 983.00. AN ELEVATION CERTIFICATE IS REQUIRED PRIOR TO THE ISSUANCE OF CO.

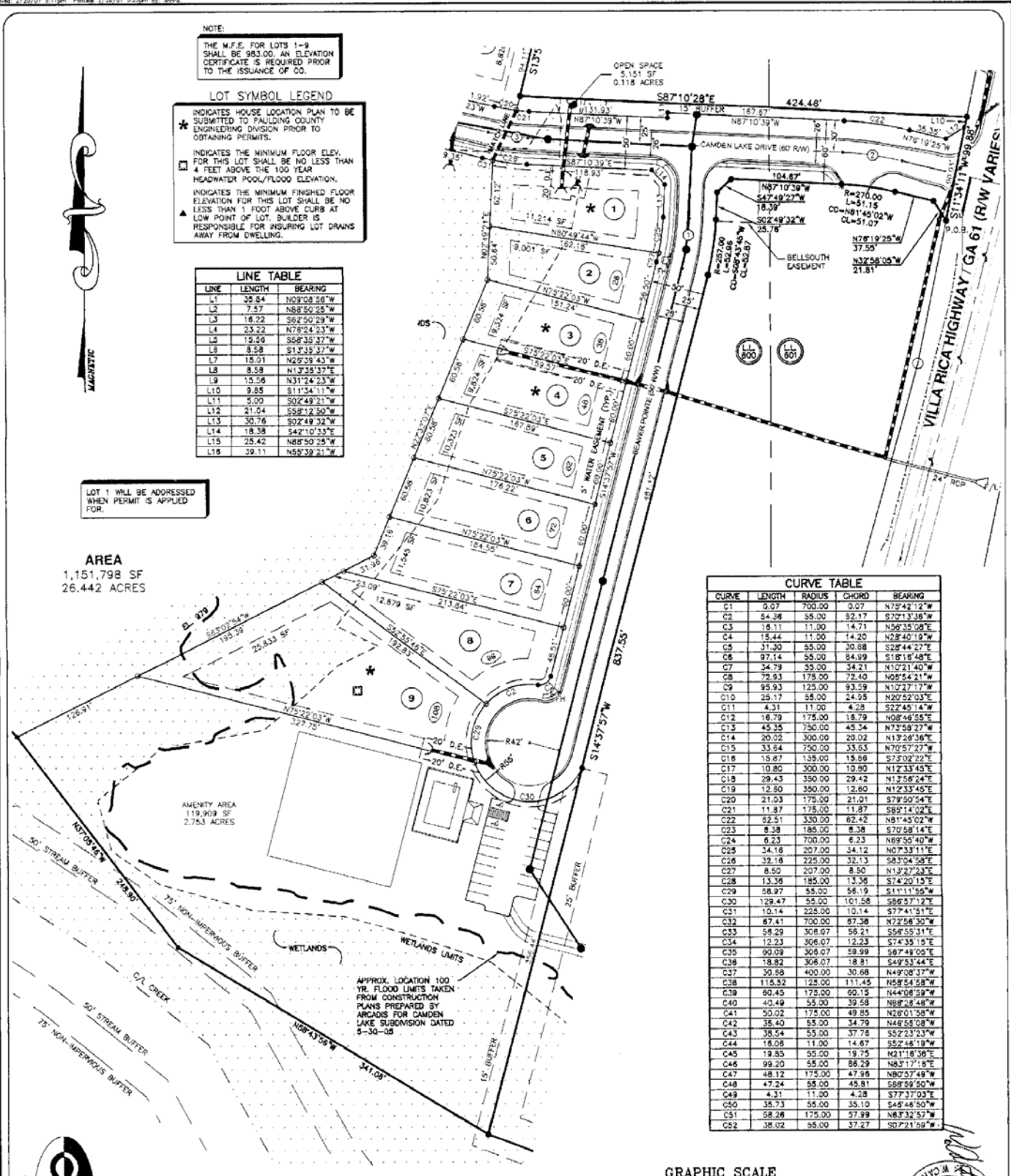
**LOT SYMBOL LEGEND**  
 \* INDICATES HOUSE LOCATION PLAN TO BE SUBMITTED TO PAULDING COUNTY ENGINEERING DIVISION PRIOR TO OBTAINING PERMITS.  
 ■ INDICATES THE MINIMUM FLOOR ELEV. FOR THIS LOT SHALL BE NO LESS THAN 4 FEET ABOVE THE 100 YEAR HEADWATER POOL/FLOOD ELEVATION.  
 ▲ INDICATES THE MINIMUM FINISHED FLOOR ELEVATION FOR THIS LOT SHALL BE NO LESS THAN 1 FOOT ABOVE CURB AT LOW POINT OF LOT. BUILDER IS RESPONSIBLE FOR INSURING LOT DRAINS AWAY FROM DWELLING.

**LINE TABLE**

LINE	LENGTH	BEARING
L1	35.84	N03°08'58"W
L2	7.57	N88°50'25"W
L3	16.22	S62°50'29"W
L4	23.22	N78°24'23"W
L5	15.56	S58°35'37"W
L6	8.58	S12°35'37"W
L7	15.01	N29°39'43"W
L8	8.58	N1°33'37"E
L9	15.56	N31°24'23"W
L10	8.85	S11°34'11"W
L11	5.00	S02°49'21"W
L12	21.04	S58°12'50"W
L13	30.76	S02°49'32"W
L14	18.38	S42°10'33"E
L15	25.42	N88°50'25"W
L16	39.11	N62°39'21"W

LOT 1 WILL BE ADDRESSED WHEN PERMIT IS APPLIED FOR.

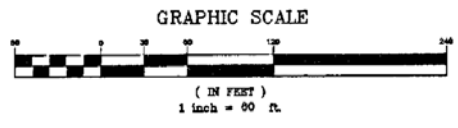
**AREA**  
 1,151,798 SF  
 26.442 ACRES



**CURVE TABLE**

CURVE	LENGTH	RADIUS	CHORD	BEARING
C1	0.07	700.00	0.07	N75°42'12"W
C2	54.36	55.00	52.17	S70°13'38"W
C3	18.11	11.00	14.71	N58°35'08"E
C4	15.44	11.00	14.20	N28°10'18"W
C5	31.30	55.00	30.88	S28°44'27"E
C6	97.14	55.00	84.89	S18°18'48"E
C7	34.79	55.00	34.21	N10°21'40"W
C8	72.93	175.00	72.40	N05°54'21"W
C9	95.93	125.00	93.59	N10°27'17"W
C10	25.17	55.00	24.95	N20°52'03"E
C11	4.31	11.00	4.28	S22°48'14"W
C12	16.79	175.00	16.79	N08°48'55"E
C13	45.35	750.00	45.34	N73°58'27"W
C14	20.02	300.00	20.02	N13°26'36"E
C15	33.64	750.00	33.63	N70°57'27"W
C16	15.87	135.00	15.86	S73°02'22"E
C17	10.80	300.00	10.80	N12°33'45"E
C18	29.43	350.00	29.42	N13°58'24"E
C19	12.50	350.00	12.80	N12°33'45"E
C20	21.03	175.00	21.01	S79°50'54"E
C21	11.87	175.00	11.87	S89°14'02"E
C22	52.51	330.00	52.42	N81°45'02"W
C23	8.38	185.00	8.38	S70°58'14"E
C24	6.23	700.00	6.23	N89°56'40"W
C25	34.16	207.00	34.12	N07°33'11"E
C26	39.18	225.00	32.13	S83°04'54"E
C27	8.50	207.00	8.50	N12°27'33"E
C28	13.36	185.00	13.36	S74°20'15"E
C29	58.97	55.00	56.19	S11°11'55"W
C30	129.47	55.00	101.58	S86°37'12"E
C31	10.14	225.00	10.14	S77°41'51"E
C32	87.41	700.00	87.38	N72°58'30"W
C33	59.29	308.07	56.21	S58°53'11"E
C34	12.23	308.07	12.23	S74°38'15"E
C35	90.09	308.07	59.99	S87°49'09"E
C36	18.82	308.07	18.81	S49°53'44"E
C37	30.58	400.00	30.68	N49°08'37"W
C38	115.52	125.00	111.45	N58°54'58"W
C39	90.45	175.00	90.15	N44°08'59"W
C40	40.49	55.00	39.58	N88°28'48"W
C41	50.02	175.00	49.85	N20°13'58"W
C42	35.40	55.00	34.79	N48°58'08"W
C43	38.54	55.00	37.76	S52°23'23"W
C44	18.08	11.00	14.67	S52°46'19"W
C45	19.55	55.00	19.75	N21°18'36"W
C46	99.20	55.00	86.29	N83°17'18"E
C47	48.12	175.00	47.96	N80°57'49"W
C48	47.24	55.00	45.81	S89°59'55"W
C49	4.31	11.00	4.28	S73°07'03"E
C50	35.73	55.00	35.10	S48°48'50"W
C51	58.26	175.00	57.99	N83°32'57"W
C52	38.02	55.00	37.27	S07°21'59"W

Recorded 03/05/2007 01:48PM  
 Tivya W. Shelton  
 Clerk Superior Court, Paulding County, Ga.  
 BK 00051 Pg 0184



2/5 SHEET

**FINAL PLAT FOR CAMDEN LAKE PHASE I**

LOCATED IN LAND LOT(S) - 592, 599, 600 & 601  
 1ST DISTRICT, 3RD SECTION  
 PAULDING COUNTY, GEORGIA

PROJECT NO. 08-005  
 PLOT FILE # 08-005-F-1  
 DATE: 02-15-07  
 DRAWN BY: S.M.B.  
 APPROVED BY: W.C.R.

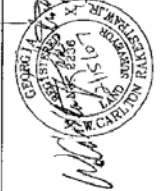
**CARLTON RAKESTRAW & ASSOCIATES**  
 REGISTERED LAND SURVEYORS  
 2203 MARIETTA HWY DALLAS, GEORGIA 30157  
 PHONE: 770-443-2200 FAX: 770-443-2300

# FINAL PLAN FOR CAMDEN LAKE PHASE I

SHEET  
3/5

LOCATED IN LAND LOT(S) - 592, 599, 600 & 601  
1ST DISTRICT, 3RD SECTION  
PAULDING COUNTY, GEORGIA

PROJECT NO. 08-005  
DATE 02-13-07  
DRAWN BY: J.M.B.  
APPROVED BY: [Signature]  
REGISTERED LAND SURVEYORS  
CARLTON RAKESTRAW & ASSOCIATES  
2283 ABERNETHY DR. DUNWOODY, GEORGIA 30128  
PHONE: 770-443-2200 FAX: 770-443-2300



Recorded 03/05/2007 01:48PM  
Title Insurance Co.  
PA 00051  
# 0185

**LOT SYMBOL LEGEND**

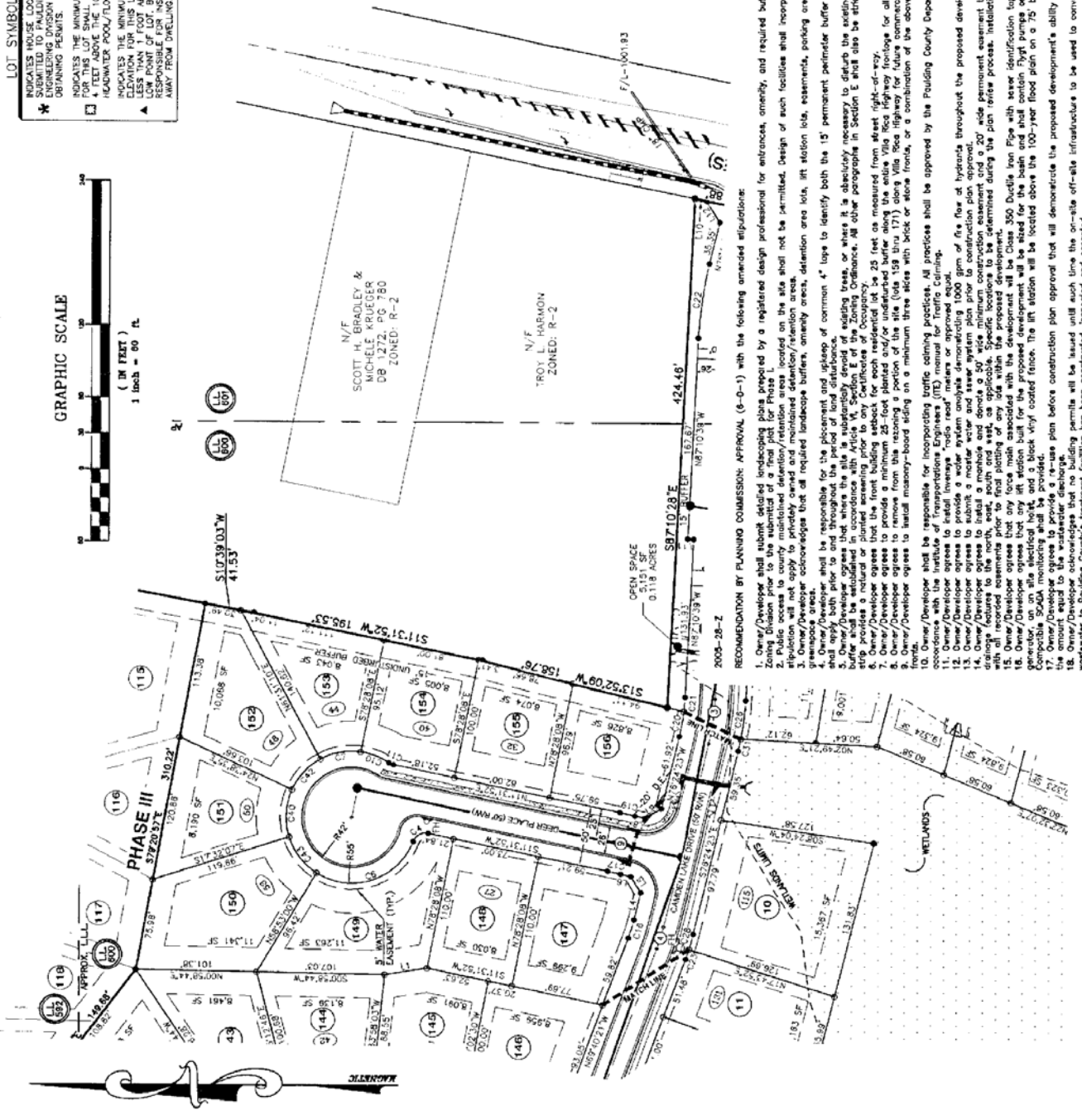
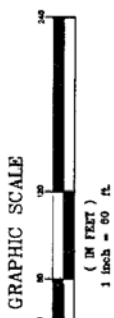
- \* INDICATES HOUSE LOCATION PLAN TO BE SUBMITTED TO THE PLANNING AND ZONING DIVISION PRIOR TO OBTAINING PERMITS.
- INDICATES THE MINIMUM FLOOR ELEVATION FOR THIS LOT SHALL BE NO LESS THAN 1 FEET ABOVE THE 100 YEAR FLOODWATER POOL/FLOOD ELEVATION.
- ▲ INDICATES THE MINIMUM FINISHED FLOOR ELEVATION FOR THIS LOT SHALL BE NO LESS THAN 1 FOOT ABOVE COEB AT LOW POINT OF LOT. BUILDER IS RESPONSIBLE FOR INSURING LOT DRAINS AWAY FROM DRAINAGE.

**NOTE:**  
THE A.F.E. FOR LOT 10 SHALL BE 983.00. AN ELEVATION CERTIFICATE IS REQUIRED PRIOR TO THE ISSUANCE OF CO.

LOTS 147, 149 & 156 WILL BE ADDRESSED WHEN PERMIT IS APPLIED FOR.

NOTE: LOTS 153-156 MUST DRAIN TO ROAD.

**AREA**  
1,151,798 SF  
26.442 ACRES



**RECOMMENDATION BY PLANNING COMMISSION: APPROVAL (5-0-1) with the following amended stipulations:**

1. Owner/Developer shall submit detailed landscaping plans prepared by a registered design professional for entrances, amenity, and required buffer areas for review/approval by the Planning and Zoning Division prior to the submission of a final plan for Phase I.
2. Owner/Developer shall submit a detailed retention area plan for the site that shall not be permitted. Design of such facilities shall incorporate measures to ensure public safety. This stipulation will not apply to privately owned and maintained areas.
3. Owner/Developer acknowledge that all required landscape buffers, amenity areas, detention area lots, lift station lots, easements, parking areas, and buildings may not be accounted for as green-space areas.
4. Owner/Developer shall be responsible for the placement and upkeep of common 4" tape to identify both the 15' permanent perimeter buffer and all areas reserved as green/open space. This 4" tape shall be installed prior to the start of construction.
5. Owner/Developer agrees that where the site is substantially devoid of existing trees, or where it is absolutely necessary to disturb the existing natural/undisturbed area, a planted/landscaped buffer shall be established in accordance with Article V, Section E of the Zoning Ordinance. All other paragraphs in Section E shall also be strictly enforced such that the entire 15-foot buffer strip provide a natural or planted screening prior to any Certificate of Occupancy.
6. Owner/Developer agrees to provide a minimum 25-foot for each residential lot, 25 feet for each commercial lot, and 25 feet for each industrial lot.
7. Owner/Developer agrees to provide a minimum 25-foot for each residential lot, 25 feet for each commercial lot, and 25 feet for each industrial lot.
8. Owner/Developer agrees to remove from this rezoning a portion of the site (lots 159 thru 171) along Villa Rosa Highway for future commercial development.
9. Owner/Developer agrees to install masonry-board siding on a minimum three sides with brick or stone fronts, or a combination of the above-mentioned materials with masonry-board on house fronts.
10. Owner/Developer shall be responsible for incorporating traffic signing practices. All practices shall be approved by the Paulding County Department of Transportation and designed in accordance with the Institute of Transportation Engineers (ITE) manual for Traffic Calming.
11. Owner/Developer agrees to install Inverse "radio roof" manna or approved equal.
12. Owner/Developer agrees to provide a water system analysis demonstrating 1000 gpm of fire flow at hydrants throughout the proposed development.
13. Owner/Developer agrees to submit a master water and sewer system plan prior to construction plan approval.
14. Owner/Developer agrees to provide a drainage plan showing a minimum 20' side permanent easement to the proposed driveway easement and a 20' side permanent easement to the proposed driveway easement and a 20' side permanent easement to the proposed driveway easement and a 20' side permanent easement to the proposed driveway easement.
15. Owner/Developer agrees to provide a drainage plan showing a minimum 20' side permanent easement to the proposed driveway easement and a 20' side permanent easement to the proposed driveway easement.
16. Owner/Developer agrees that any lots not associated with the proposed development will be zoned Class 300 Duclie Iron Pipe with sewer identification pipe.
17. Owner/Developer agrees that any lift station built for the proposed development will be sized for the basin and shall contain Flygt pump or approved equal, on an aisle compatible SAGOA monitoring shall be provided.
18. Owner/Developer agrees to provide a re-use plan before construction plan approval that will demonstrate the proposed development's ability to receive re-use water in the amount equal to the wastewater discharge.
19. Owner/Developer agrees to provide a re-use plan before construction plan approval that will demonstrate the proposed development's ability to receive re-use water in the amount equal to the wastewater discharge.
20. Owner/Developer agrees to provide a re-use plan before construction plan approval that will demonstrate the proposed development's ability to receive re-use water in the amount equal to the wastewater discharge.
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23. Owner/Developer agrees to provide a re-use plan before construction plan approval that will demonstrate the proposed development's ability to receive re-use water in the amount equal to the wastewater discharge.
24. Owner/Developer agrees to provide a re-use plan before construction plan approval that will demonstrate the proposed development's ability to receive re-use water in the amount equal to the wastewater discharge.
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26. Owner/Developer agrees to provide a re-use plan before construction plan approval that will demonstrate the proposed development's ability to receive re-use water in the amount equal to the wastewater discharge.
27. Owner/Developer agrees to provide a re-use plan before construction plan approval that will demonstrate the proposed development's ability to receive re-use water in the amount equal to the wastewater discharge.
28. Owner/Developer agrees to provide a re-use plan before construction plan approval that will demonstrate the proposed development's ability to receive re-use water in the amount equal to the wastewater discharge.
29. Owner/Developer agrees to provide a re-use plan before construction plan approval that will demonstrate the proposed development's ability to receive re-use water in the amount equal to the wastewater discharge.
30. Owner/Developer agrees to provide a re-use plan before construction plan approval that will demonstrate the proposed development's ability to receive re-use water in the amount equal to the wastewater discharge.

**CAMDEN LAKE**  
**PHASE I**  
**FINAL PLAT FOR**

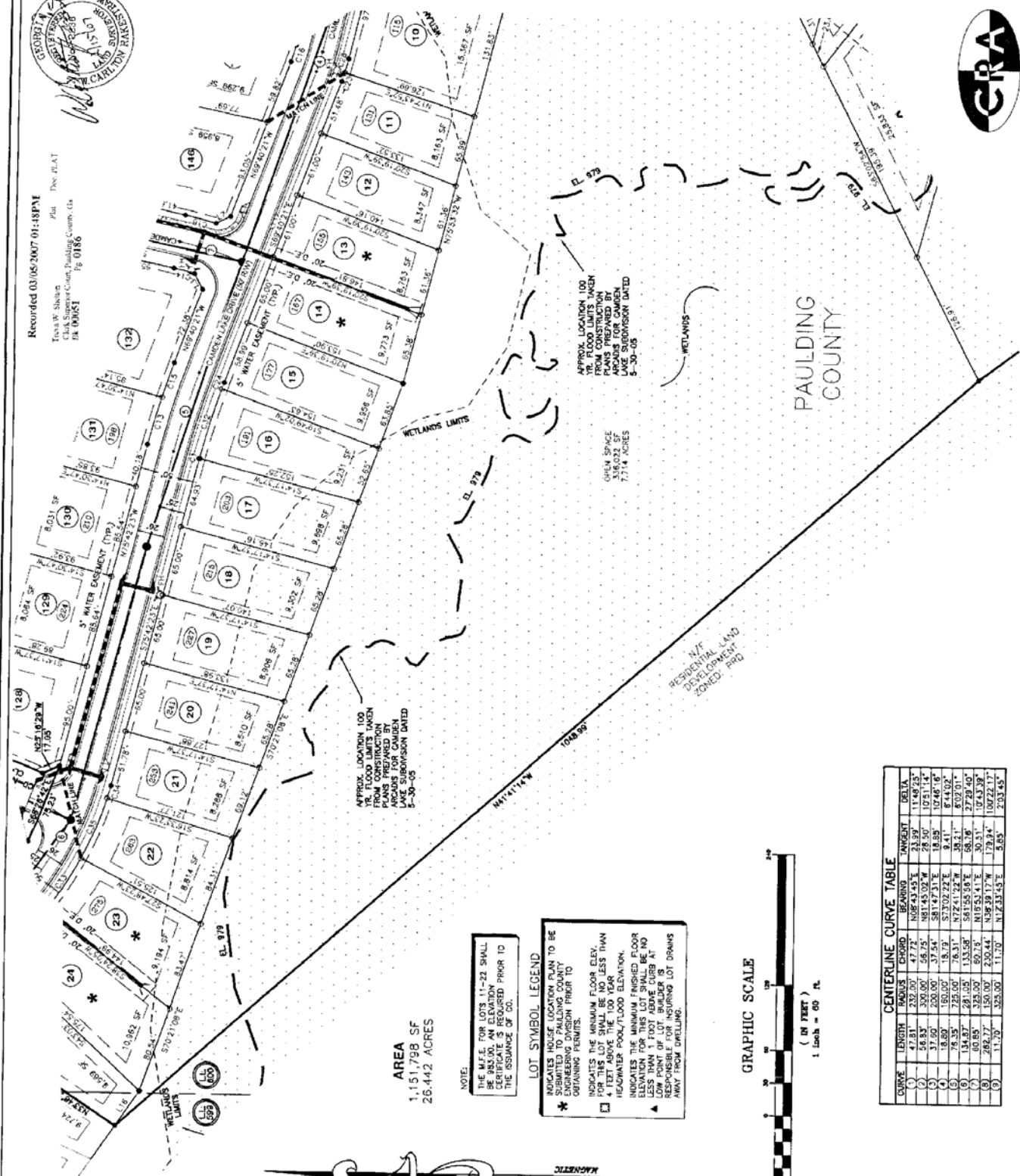
LOCATED IN LAND LOT(S) - 592, 599, 600 & 601  
 1ST DISTRICT, 3RD SECTION  
 PAULDING COUNTY, GEORGIA

PROJECT NO. 95-095  
 PLAT FILE # 05-005-C-1  
 DATE: 02-15-07  
 DRAWN BY: S.M.B.  
 APPROVED BY: M.C.R.

CARLTON RAKESTRAW & ASSOCIATES  
 REGISTERED LAND SURVEYORS  
 2203 HUNTER HAVY  
 DALY, GEORGIA 30137  
 PHONE: 770-443-2200  
 FAX: 770-443-2200



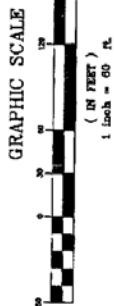
Recorded 03/06/2007 01:48PM  
 Title: W. Shiloh Plat  
 Doc: PLAT  
 18,00051 Pg. 0186



**AREA**  
 1,151,798 SF  
 26.442 ACRES

NOTE:  
 THE M.F.E. FOR LOTS 11-22 SHALL BE 10.00 FEET AND SHALL BE RECORDED PRIOR TO THE ISSUANCE OF CO.

**LOT SYMBOL LEGEND**  
 \* INDICATES HOUSE LOCATIONS TO BE SUBMITTED TO PAULDING COUNTY ENGINEERING DIVISION PRIOR TO OBTAINING PERMITS.  
 □ INDICATES THE MINIMUM FLOOR ELEVATION FOR THIS LOT SHALL BE NO LESS THAN HEADWATER POOL/FLOOD ELEVATION.  
 ▲ INDICATES THE MINIMUM FINISHED FLOOR ELEVATION FOR THIS LOT SHALL BE NO LESS THAN 1 FOOT ABOVE CURB AT THE POINT OF ENTRY TO THE LOT RESPONSIBLE FOR INSURING LOT DRAINS AWAY FROM DWELLING.



**CENTERLINE CURVE TABLE**

CURVE	LENGTH	CHORD	BEARING	TANGENT	DELTA
1	41.81	232.30	N81°43'32"E	23.39	174°02'30"
2	54.83	300.00	S55°15'00"W	55.15	104°02'30"
3	37.60	200.00	S71°47'31"E	18.89	104°02'30"
4	18.89	100.00	S73°02'22"E	9.41	87°44'02"
5	78.35	429.00	N72°41'22"W	38.21	67°02'01"
6	134.87	721.05	N33°58'15"E	58.16	272°29'40"
7	60.85	325.00	S07°55'41"E	30.51	107°43'38"
8	11.70	200.44	N32°39'17"W	17.94	107°22'17"
9	11.70	200.44	N42°33'45"E	5.65	203°45'

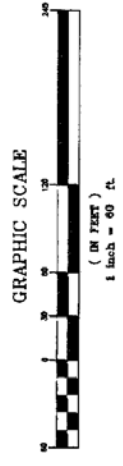
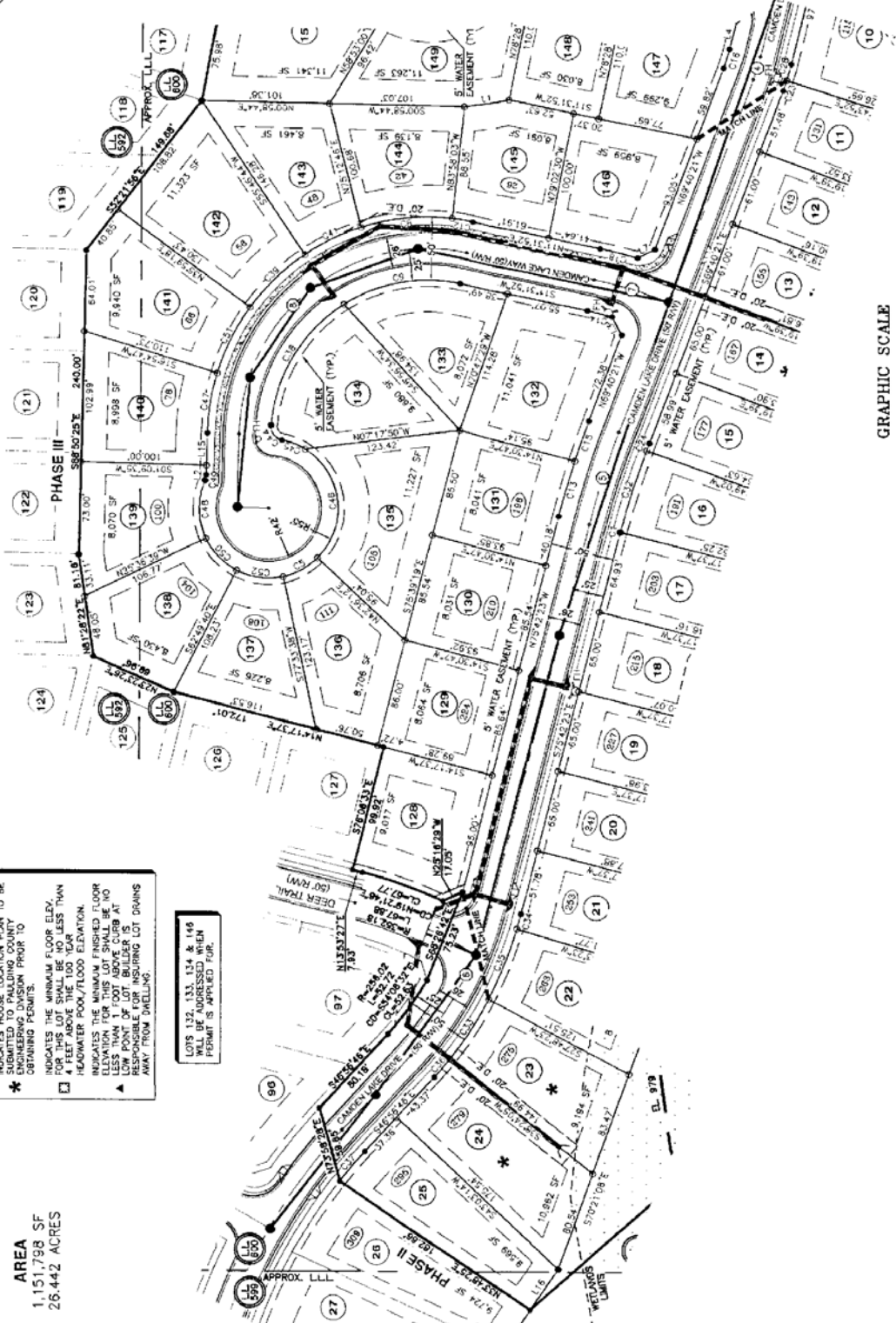
FINAL PLAN FOR  
CAMDEN LAKE  
PHASE I

LOCATED IN LAND LOT(S) - 592, 599, 600 & 601  
PAULDING COUNTY, GEORGIA  
1ST DISTRICT, 3RD SECTION

PROJECT NO. 08-005  
PLOT FILE # 08-005-F-1  
DATE 02-15-07  
DRAWN BY S.M.B.  
APPROVED BY W.C.R.  
REGISTERED LAND SURVEYOR  
CARLTON RAKESTRAW & ASSOCIATES  
2200 WABBITA HWY DALLAS, GEORGIA 30187  
PHONE 770-443-2200 FAX 770-443-2200



Recorded 03/05/2007 01:48PM  
Plan LDC PLAT  
Eric A. Shubin  
Clark Superior Court, Paulding County, Ga.  
JK 0187  
JK 00051



**NOTE:**  
THE M.P.E. FOR LOTS 24-25 SHALL BE 983.00. AN ELEVATION CERTIFICATE IS REQUIRED PRIOR TO THE ISSUANCE OF CO.  
INDICATES HOUSE LOCATION PLAN TO BE SUBMITTED TO PAULDING COUNTY ENGINEERING DIVISION PRIOR TO GRADING PERMITS.  
INDICATES THE MINIMUM FLOOR ELEVATION FOR THIS LOT SHALL BE NO LOWER THAN THE FINISHED FLOOR ELEVATION AT THE LOW POINT OF LOT. BUILDER IS RESPONSIBLE FOR INSURING LOT DRAINS AWAY FROM DWELLING.

**LOT SYMBOL LEGEND**

- \* INDICATES HOUSE LOCATION PLAN TO BE SUBMITTED TO PAULDING COUNTY ENGINEERING DIVISION PRIOR TO GRADING PERMITS.
- INDICATES THE MINIMUM FLOOR ELEVATION FOR THIS LOT SHALL BE NO LOWER THAN THE FINISHED FLOOR ELEVATION AT THE LOW POINT OF LOT. BUILDER IS RESPONSIBLE FOR INSURING LOT DRAINS AWAY FROM DWELLING.
- ▲ INDICATES THE MINIMUM FLOOR ELEVATION FOR THIS LOT SHALL BE NO LOWER THAN THE FINISHED FLOOR ELEVATION AT THE LOW POINT OF LOT. BUILDER IS RESPONSIBLE FOR INSURING LOT DRAINS AWAY FROM DWELLING.

LOTS 132, 133, 134 & 149 REQUIRE PERMITS WHEN PERMITS IS APPLIED FOR.

**AREA**  
1,151,798 SF  
26.442 ACRES